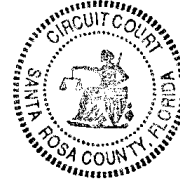


19.50

**AMENDMENT TO  
DECLARATION OF COVENANTS, CONDITIONS  
AND RESTRICTIONS FOR  
LIGHTHOUSE POINTE, UNIT NO. 2**



STATE OF FLORIDA  
COUNTY OF SANTA ROSA

THIS AMENDMENT made this 9th day of May, 1997, by THE MITCHELL COMPANY, INC., an Alabama corporation, hereinafter collectively referred to as "Declarant,"

**WITNESSETH:**

**WHEREAS,** Declarant executed a First Amendment to Declaration of Covenants, Conditions and Restrictions for Lighthouse Pointe, Unit No. 1, a Subdivision ["First Amendment"], to add Lighthouse Pointe, Unit No. 2 dated December 11, 1996 and recorded in Official Records Book 1584 at page 1426 of the public records of Santa Rosa County, Florida; and

**WHEREAS,** the First Amendment referenced in the preceding paragraph incorporated certain provisions contained in the Declaration of Covenants, Conditions and Restrictions for Lighthouse Pointe, Unit No. 1, a Subdivision ["Declaration"], dated September 4, 1996, and recorded in Official Records Book 1581 at page 1253 of the public records of Santa Rosa County, Florida; and

**WHEREAS,** the Declaration provides for Amendment by Declarant of the Declaration which terms are incorporated into the First Amendment and Declarant desires by this document to accomplish such amendment.

**NOW THEREFORE,** Declarant hereby amends the First Amendment as set forth hereinafter and the terms of this Amendment shall run with the land, such being all lots in Lighthouse Pointe, Unit No. 2, according to plat thereof recorded in Plat Book G at page 31 of the public records of Santa Rosa County, Florida, and shall be binding on all parties having any right, title or interest in such land and upon all persons deraining title to such land through the Declarant, their respective heirs, personal representatives, successors and assigns, personal representatives, successors and assigns, and shall inure to the benefit of each owner thereof.

1. The definition of "Common Areas" shall be amended to specifically delete Parcel H which shall no longer constitute, or be considered Common Area and title to same shall be reconveyed by the Association to Declarant. Approval for such action has

\*\* OFFICIAL RECORDS \*\*  
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been granted by VA and FHA pursuant to or as evidenced by the letter attached hereto as Exhibit "A."

2. Except as amended hereby, all the provisions of the First Amendment and Declaration shall remain in full force and effect.

**IN WITNESS WHEREOF**, the Declarant has executed this Amendment this 16<sup>th</sup> day of April, 1997.

Signed, sealed and delivered in the presence of:

DECLARANT:

THE MITCHELL COMPANY, INC., an Alabama corporation

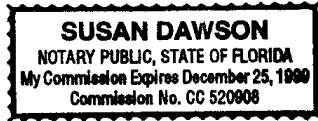
Susan Dawson  
Print Name: Susan Dawson

By: [Signature]  
Max L. Dickson, Its Sr. Vice-President

Shirley Sammons  
Print Name: Shirley Sammons

STATE OF FLORIDA  
COUNTY OF ESCAMBIA

The foregoing instrument was acknowledged before me this 16<sup>th</sup> day of April, 1997, by MAX L. DICKSON, Senior Vice-President of THE MITCHELL COMPANY, INC., an Alabama corporation, who is personally known to me.



Susan Dawson  
NOTARY PUBLIC

**JOINDER BY MORTGAGEE**

Compass Bank joins in the execution of these covenants.

Signed, sealed and delivered in the presence of:

COMPASS BANK, an Alabama state banking corporation

[Signature]  
Print Name: BRETT BARROD

By: [Signature]  
Print Name: Jane R. Hays  
Its Vice President

Print Name:

\*\* OFFICIAL RECORDS \*\*  
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STATE OF Florida  
COUNTY OF Escambia

The foregoing instrument was acknowledged before me this 9<sup>th</sup> day of May, 1997, by Jack R. Hays as Vice President of Compass Bank, an Alabama state banking corporation, on behalf of the corporation, who personally appeared before me and is personally known to me or produced \_\_\_\_\_ as identification.



[Signature]  
NOTARY PUBLIC

This instrument prepared by:  
✓ John W. Monroe, Jr., of  
EMMANUEL, SHEPPARD & CONDON  
30 South Spring Street  
Post Office Drawer 1271  
Pensacola, Florida 32596  
File No. M530-24939

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**EXHIBIT "A"**

**\*\* OFFICIAL RECORDS \*\***  
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U.S. Department of Housing and Urban Development  
Jacksonville Office, Southeast/Caribbean  
301 West Bay Street, Suite 2200  
Jacksonville, Florida 32202-5121

4HHS1

March 27, 1997

Ms. Linda Brown  
Mitchell Homes  
3298 Summit Blvd, #18  
Pensacola, FL 32503-4350

Dear Ms. Brown

SUBJECT: Wetlands in Lighthouse Pointe  
Planned Unit Development  
Pensacola, FL 32503

This is in regards to your letter dated March 20, 1997,  
pertaining to the wetlands in subject planned unit development.

HUD has no objections in the wetland area of subject planned  
unit development being conveyed back to The Mitchell Company. The  
property must stay in its current natural state.

If you have any questions, please contact me at 904-232-3627.

Very sincerely yours,

*James C. Hardy*  
James C. Hardy  
S/F Housing Specialist  
Production/REO/Asset  
Management Branch 4HHS1

SANTA ROSA COUNTY, FLORIDA  
MARY M JOHNSON, CLERK